

## Lot 289 - 6 Waipapa Way

### Quality materials and fittings. Turnkey package includes:

- Open plan kitchen, living and dining area
- Designed kitchen with stone benchtop
- Bosch Kitchen appliances (supply dependent)
- Designed wardrobe units
- Featured James Hardie cladding
- Featured TV wall
- Tinted glass to reduce glare & fading
- Quality bathroom facilities
- Tiled family bathroom with bathtub
- Carpet & laminated floor coverings
- Grooved internal doors with quality hardware
- Digital lock for front door
- 60mm skirting with 60mm architraves
- Gas hot water system
- Heat Pump
- Fully landscaped: fencing, lawns & planting, exposed aggregate driveway, patios, Letter box, clothesline

**NOTES:**

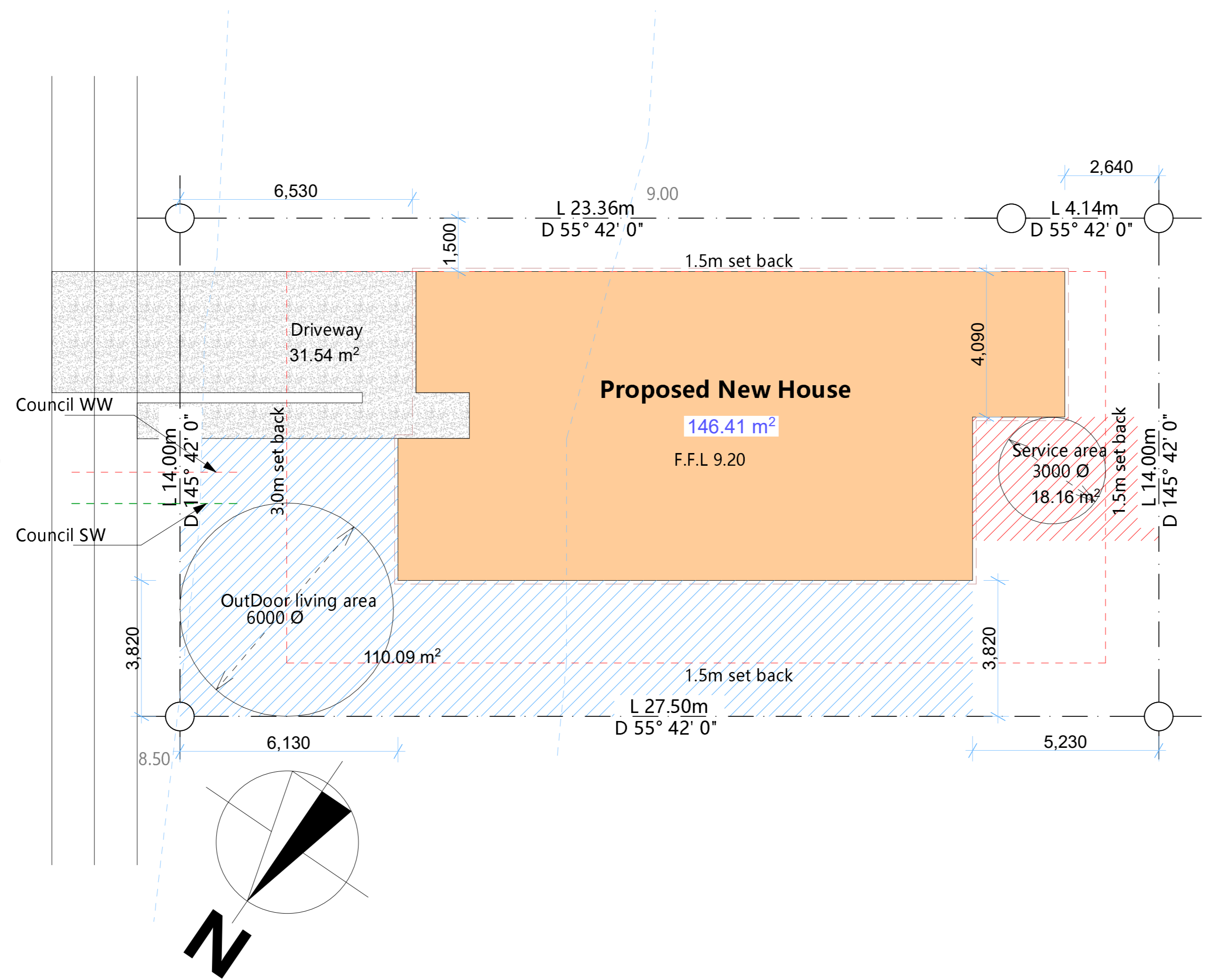
**Site Plan Notes:**

Legal Description	
Street:	63 Whites way
Lot:	289
DPS:	542256
Site Area:	385.00 m2
Floor Area:	146.41 m2
Site Coverage:	38%
Driveway:	31.54m2
Permeable Surface:	(385-146.41-31.54)/385=53.7%
Wind Zone:	H
Wind Region:	A
Earthquake Zone:	Zone 1
Exposure Zone:	Zone B
Climate Zone:	Zone 2
Zone:	Residential Zone
Precedent:	Medium Density

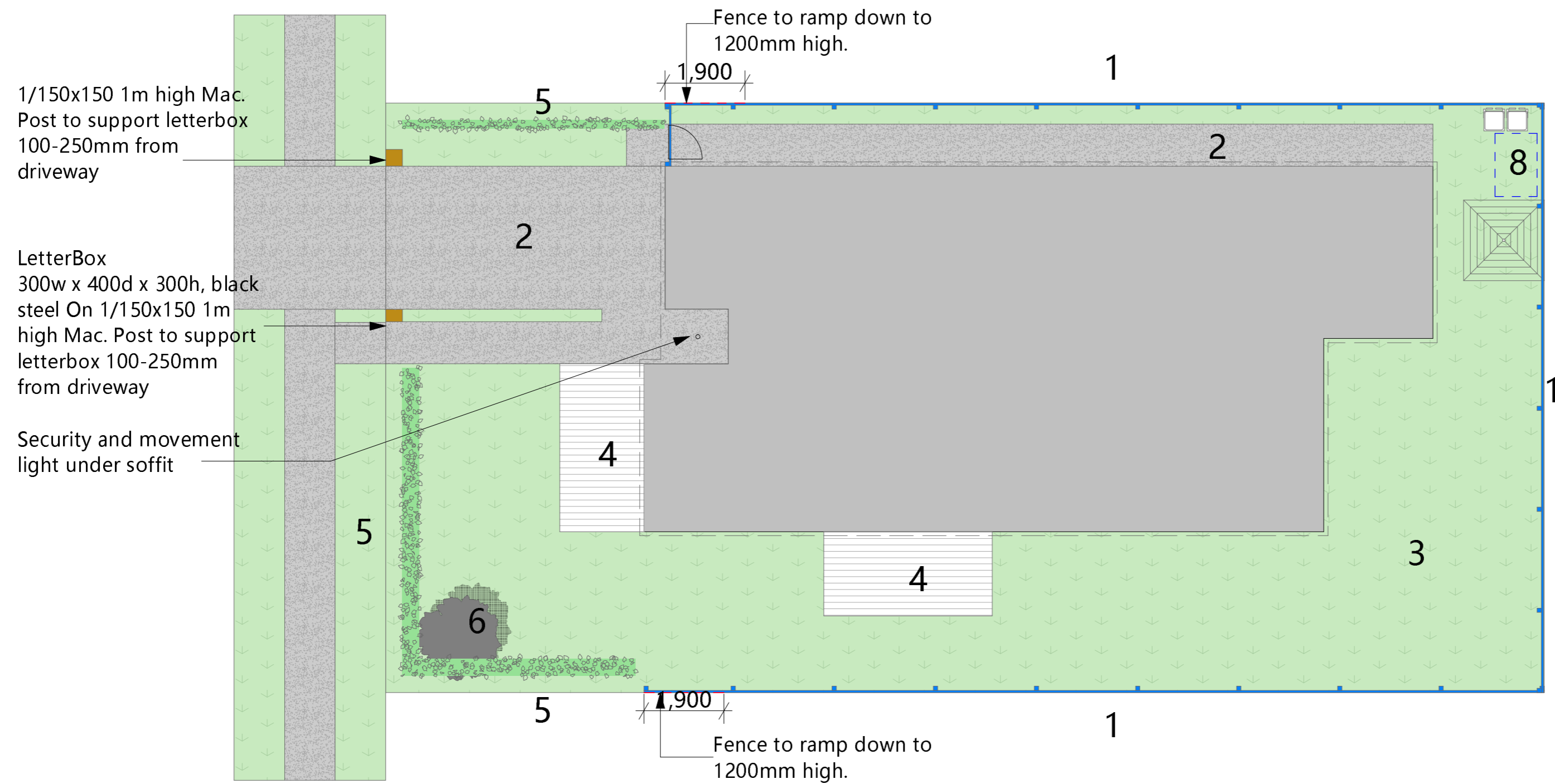
- 1 Contractor to double check datum and all levels.
- 2 Refer to survey plan for accurate contours.
- 3 Drain layer to locate connection on site before commencing works.
- 4 Sand pad refer to attached geotech report by engineer.
- 6 All site dimensions are to outside edge of slab.
- 7 All works to comply with current NZS-3604:2011 & NZBC.
- 8 Overall frame or slab dimension to allow for 6mm bottom plate overhang.
- 9 Site fence required during the construction to comply with NZBC F5.

P R E L I M I N A R Y

W H I T E S W A Y



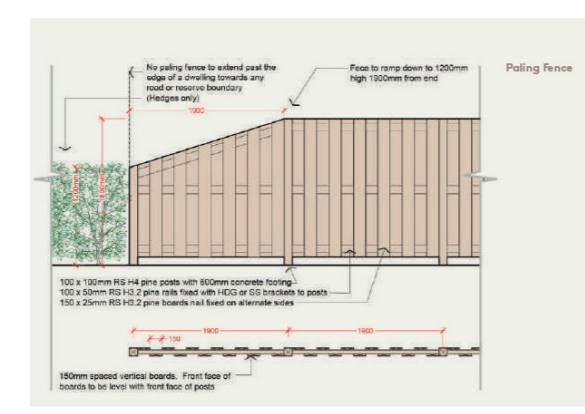
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Site Plan	
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P R E L I M I N A R Y

**1** 1.8m privacy timber fence at backyard

Vertical timber paling fencing to a finished height of 1.8m above existing ground level is to be erected on each common boundary to a residential lot. Fencing is to be as per the detail below. Existing ground level means ground level at the time of title issue.



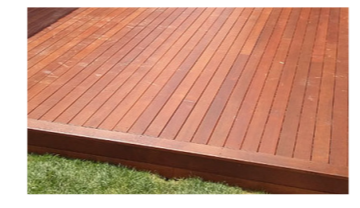
**2** Concrete (Exposed Aggregate)



**3** Lawn area

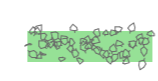


**4** Deck



**5** Hedge plants(Eugenia Ventenatii)

- All common boundaries with a road, access lot, reserve or residential lot where paling fencing is not permitted must be planted with a hedge offset 400mm inside the boundary.
- Hedge plants are to be a minimum of 1000mm high at the time of planting and a maximum of 600mm apart.
- Hedging is to be clipped and maintained to a height of 1200-1800mm.



**6** Magnolia Tree(Min PB150 or 2m+)

- Trees are to be at least 2.5m in height at time of planting.
- No trees over 4m are allowed within 2m of a neighbouring residential lot.



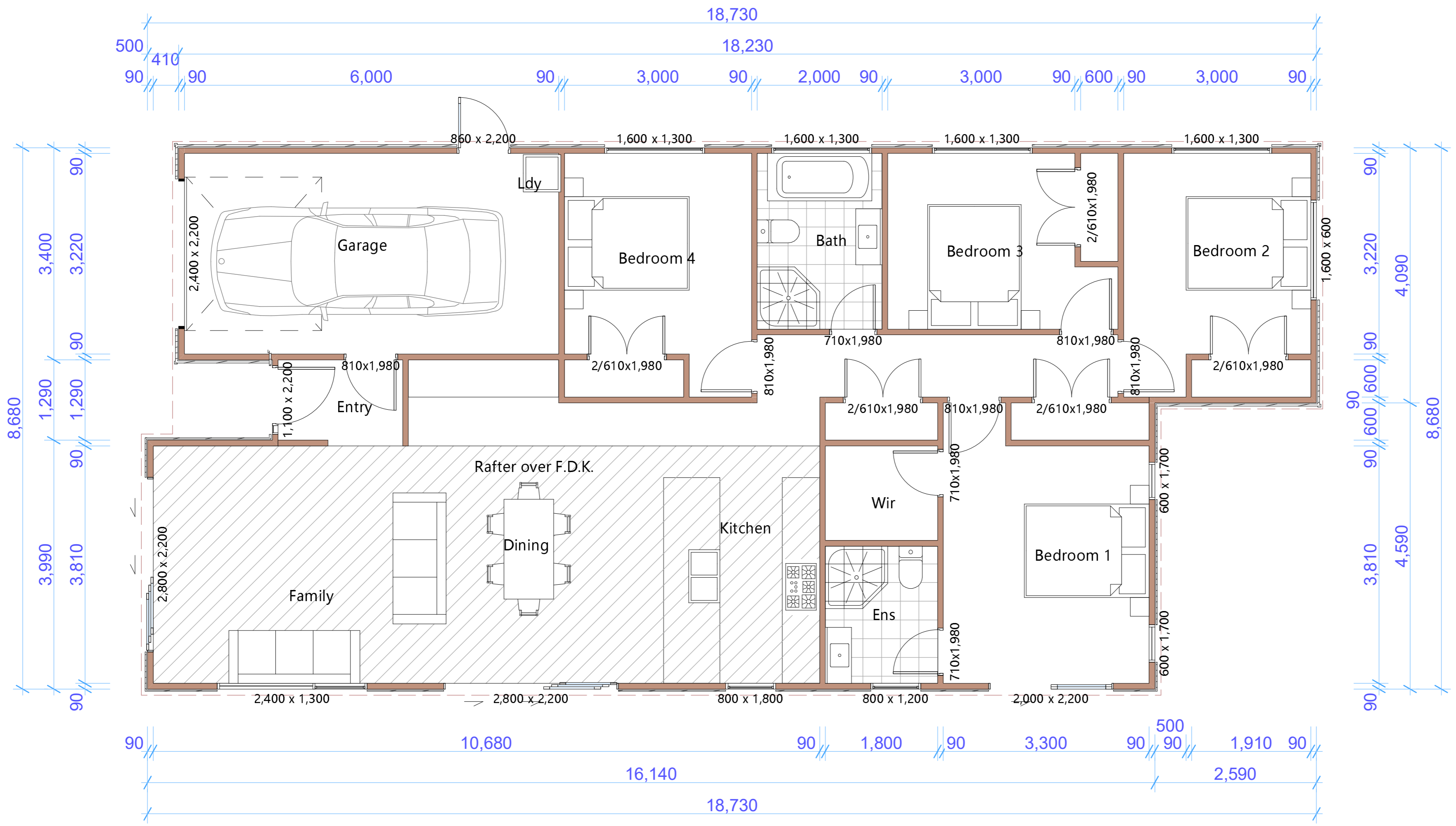
**8** Garden sheds or other structures over 1.8m in height are only permitted with prior written approval from Lakeside Developments (Only Potential Location)

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Site Landscaping Plan	
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**Floor Plan Notes:**

- 1 All works to comply with NZS 3604:2011 and NZBC
- 2 Do Not scale off drawing
- 3 Contractor shall verify and be responsible for all dimensions on site.
- 4 Architects to be notified of any variations between site dimensions and those on plans.
- 5 These drawings remain the property of J&J Architecture Ltd. And Should not be copied in any form or passed on to a third party without prior written consent.
- 6 Kitchen facilities to comply with NZBC G3/AS1.
- 7 Laundry facilities to comply with NZBC G2/AS1.
- 8 All wet area must comply with NZBC E3/AS1 and concrete tile over all.
- 9 External Moisture to comply with NZBC E2/AS1
- 10 Internal Moisture to comply with NZBC E3/AS1
- 11 STUDS & STUD HEIGHTS:
  - All walls to be 90x45 SGB studs @ 600 crs (245mm stud height).
  - All bottom plates to be H1.2 fixed with LUMBERLOK BOTTOM PLATE FIXINGS anchor in galv mild steel.
- 12 All showers to be glass panel with concrete tiles.
- 13 All internal wall linings to be 10mm GIB standard, and ceiling to be 13mm GIB standard over 70x35mm ceiling batten. All wet area to be 10mm GIB AQUALINE.
- 14 All windows and doors to be aluminium joinery and it have to be comply with NZS 4223 part 3:2016 for safety glazing and comply with NZBC E2/AS1.
- 15 All ventilation to be comply with G4/AS1 & AS1668.
- 16 All internal door to be 1980mm height.
- 17 All Ceiling batten need to be 70x35 H1.2 @ 600 crs with 13mm Gib, or @ 400 crs with 10mm Gib.

P R E L I M I N A R Y



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Ground Floor Plan	
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**Cladding Notes:**

- Selected Linea WEATHERBOARD with 20mm cavity over 'THERMAKRAFT WATERGATE Plus 295' building paper. Which show on the elevation.
- Selected Linea Oblique WEATHERBOARD with 20mm cavity over 'THERMAKRAFT WATERGATE Plus 295' building paper. Which show on the elevation.
- Selected Colorsteel Longrun Roofing over 'Thermakraft Covertek 401' roof underlay with 10° roof pitch. Which show on the elevation.
- Selected COLORSTEEL 1/4 ROUND GUTTER over COLORSTEEL FASCIA. With 80mm Dia downpipes Which show on the elevation.
- Refer to window and door schedule for joinery tapes and size.

P R E L I M I N A R Y

**COLOUR**



Resene Ebony



Resene Nevada



Resene cloud

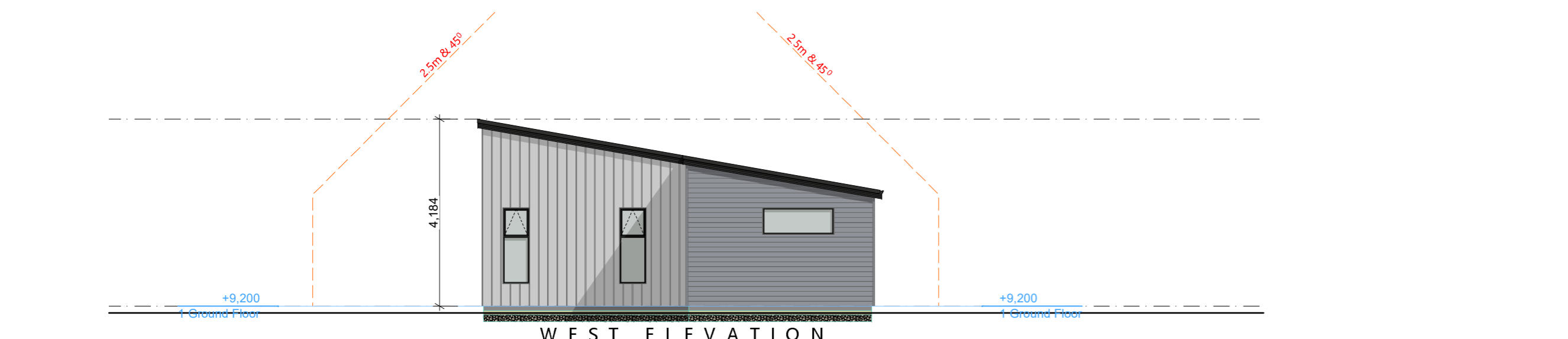
Total colour code: N34-005-272  
 Chart colour code: 1GR51  
 Tone: Mid/Mid grey  
 Colour palette: Neutral  
 RGB: 49 51 55  
 Hex values: #313337  
 LAB: 21.19 0.12 -2.82  
 CMYK: 11 7 0 78  
 Approx. LRV: 8

Total colour code: N54-007-200  
 Chart colour code: 18B23  
 Tone: Light  
 Colour palette: Neutral  
 RGB: 102 111 111  
 Hex values: #666F6F  
 LAB: 46.10 -3.40 -1.17  
 CMYK: 8 0 0 56  
 Approx. LRV: 22

Total colour code: Y81-011-082  
 Chart colour code: 06A03  
 Tone: White  
 Colour palette: Yellow  
 RGB: 194 188 177  
 Hex values: #C2BCB1  
 LAB: 76.44 0.17 6.31  
 CMYK: 0 3 9 24  
 Approx. LRV: 58



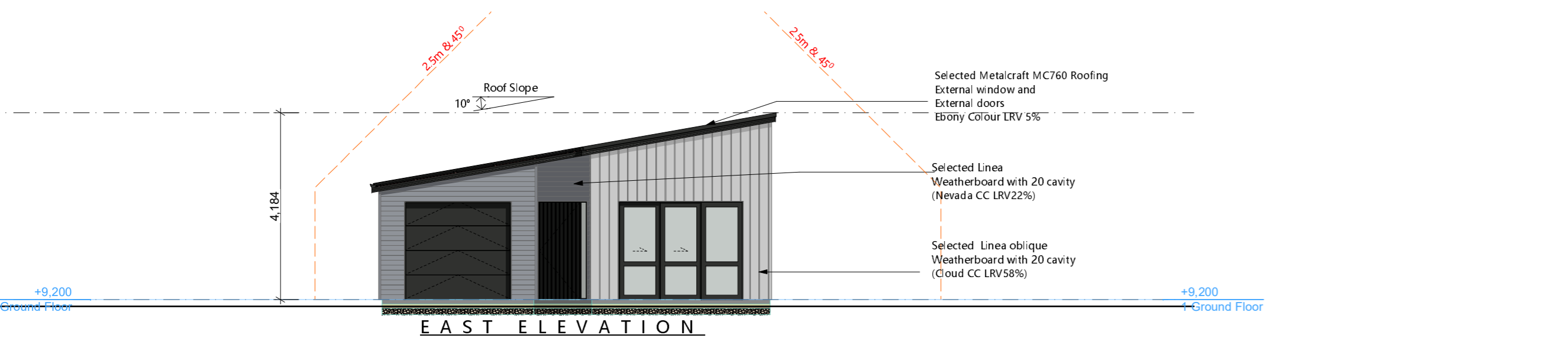
**SOUTH ELEVATION**



**WEST ELEVATION**



**NORTH ELEVATION**



**EAST ELEVATION**

- Selected Metalcraft MC760 Roofing
- External window and External doors
- Ebony Colour LRV 5%
- Selected Linea Weatherboard with 20 cavity (Nevada CC LRV22%)
- Selected Linea oblique Weatherboard with 20 cavity (Cloud CC LRV58%)

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LOT 289 63 Whites Way	
Elevations	
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