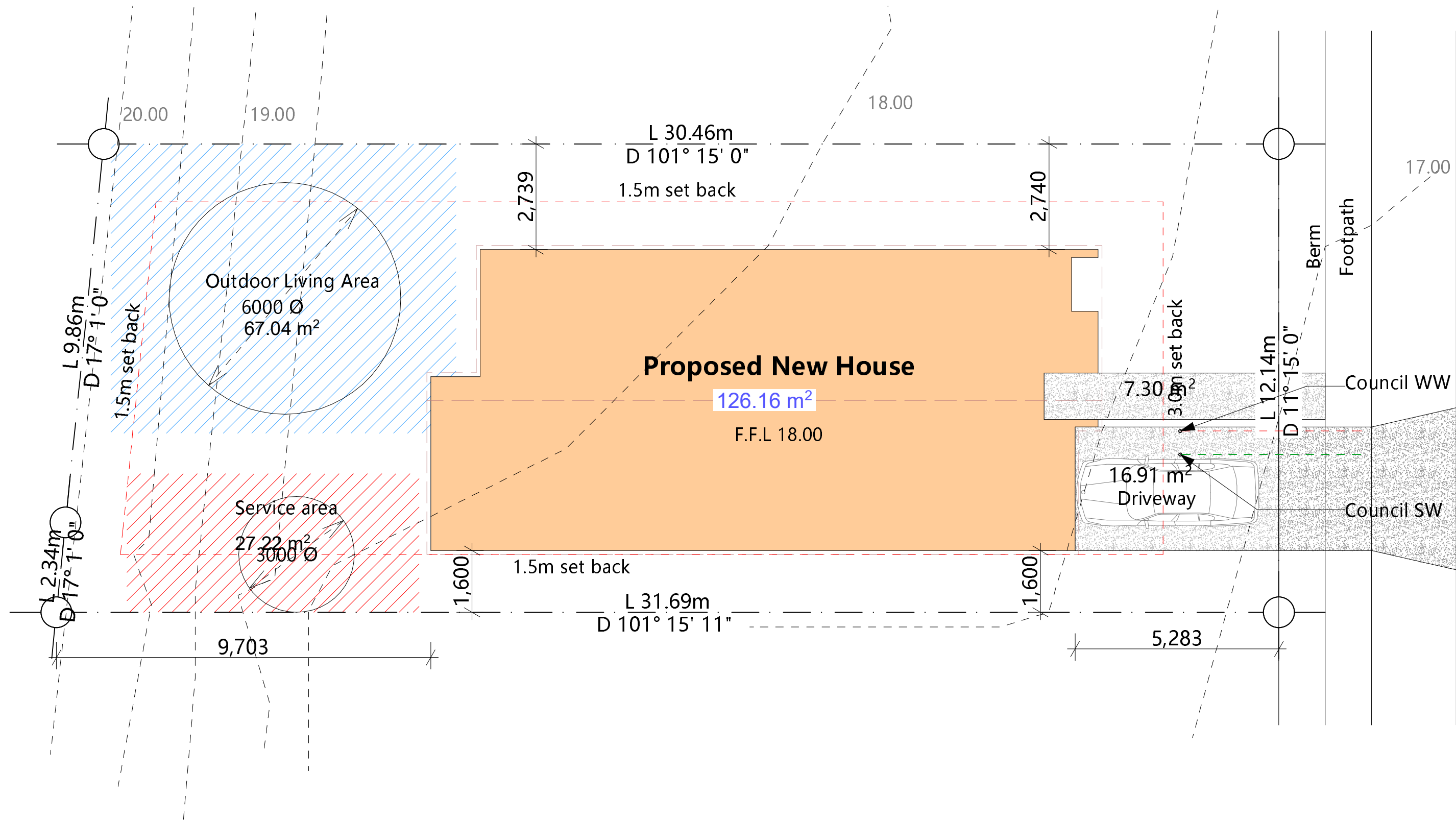
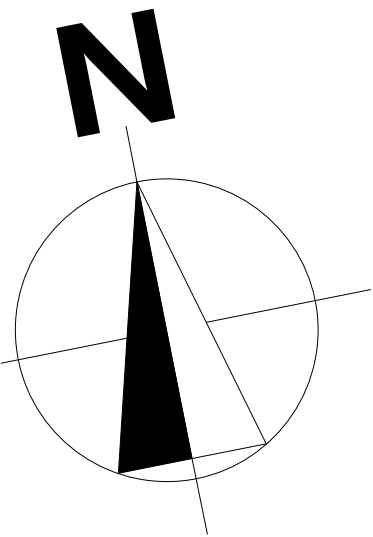


Lot 75 - 9 Pourewa Street

Quality materials and fittings. Turnkey package includes:

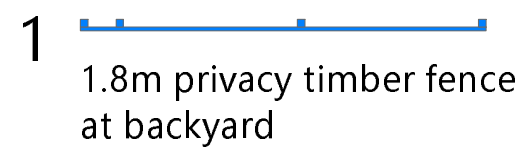
- Open plan kitchen, living and dining area
- Designed kitchen with stone benchtop
- Bosch Kitchen appliances (supply dependent)
- Designed wardrobe units
- Featured James Hardie cladding
- Featured TV wall
- Tinted glass to reduce glare & fading
- Quality bathroom facilities
- Tiled family bathroom with bathtub
- Carpet & laminated floor coverings
- Grooved internal doors with quality hardware
- Digital lock for front door
- 60mm skirting with 60mm architraves
- Gas hot water system
- Heat Pump
- Fully landscaped: fencing, lawns & planting, exposed aggregate driveway, patios, Letter box, clothesline




P O U R E W A S T R E E T

P R E L I M I N A R Y

<div><div><div></div></div><div>J&J Architecture Ltd</div></div>	
<div><div>NUMBER: 0210312191</div><div>ADDRESS: P O Box 21209, Rototuna, Hamilton</div><div>EMAIL: jeff@jjarchi.co.nz</div><div>DO NOT SCALE DIMENSIONS. Contractor to verify all dimensions on site before commencing any works. Not to be used as a final drawing. All works shown to be carried out in accordance with the Building Act 2004, all building and resource consent rules and all other relevant legislation and all other relevant consents.</div></div>	
NOTES:	
Site Plan Notes:	
Legal Description	
Street:	9 Pourewa Street
Lot:	75
DPS:	558152
Site Area:	377.00 m2
Floor Area:	125.30 m2
Site Coverage:	33%
Driveway:	118.06m2
EX Driveway:	87.73m2
Permeable Surface:	(845-197.93-118.06-87.73)/845=52%
Wind Zone:	H
Wind Region:	A
Earthquake Zone:	Zone 1
Exposure Zone:	Zone B
Climate Zone:	Zone 2
Zone:	Residential Zone
Precinct:	Medium Density
<div><div>1 Contractor to double check datum and all levels.</div><div>2 Refer to survey plan for accurate contours.</div><div>3 Drain layer to locate connection on site before commencing works.</div><div>4 Sand pad refer to attached geotech report by engineer.</div><div>6 All site dimensions are to outside edge of slab.</div><div>7 All works to comply with current NZS:3604:2011 & NZBC.</div><div>8 Overall frame or slab dimension to allow for 6mm bottom plate overhang.</div><div>9 Site fence required during the construction to comply with NZBC F5.</div></div>	
REVISION	
CLIENT	
LOT 75 9 Pourewa ST	
Site Plan	
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- The diagram illustrates a retaining wall cross-section with the following components and dimensions:
- Top Layer:** A 100mm thick concrete paving slab, 150mm high, with a 100mm gap between the slab and the wall face.
 - Soil Layer:** A 100mm thick layer of soil above the paving slab.
 - Geotextile Layer:** A 100mm thick layer of geotextile below the soil.
 - Drainage Layer:** A 100mm thick layer of drainage material below the geotextile.
 - Foundation:** A 100mm thick concrete foundation below the drainage layer.
 - Wall Face:** A 100mm thick concrete wall face.
 - Backfill:** A 100mm thick layer of backfill behind the wall face.
 - Dimensions:**
 - 100mm (vertical) for the paving slab, soil, geotextile, and drainage layers.
 - 150mm (vertical) for the foundation.
 - 100mm (horizontal) for the wall face.
 - 100mm (horizontal) for the backfill.
 - 100mm (horizontal) for the gap between the slab and the wall face.
 - 100mm (horizontal) for the gap between the foundation and the wall face.



A close-up photograph of a wooden deck railing and stairs. The railing is made of vertical wooden balusters and a horizontal handrail, all finished with a dark stain. The stairs are also made of wood and lead down from the deck. The deck surface is composed of horizontal wooden planks. The railing is set against a backdrop of green foliage.



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Floor Plan Notes:

- All works to comply with NZS 3604:2011 and NZBC
- Do Not scale off drawing.
- Contractor shall verify and be responsible for all dimensions on site.
- Architects to be notified of any variation between site dimensions and those on plans.
- These drawings remain the property of J&J Architecture Ltd. And Should not be copied in any form or passed on to a third party without prior written consent.
- Kitchen facilities to comply with NZBC G3/AS1.
- Laundry facilities to comply with NZBC G2/AS1.
- All wet area must to comply with NZBC E3/AS1 and concrete tile over all.
- External Moisture to comply with NZBC E2/AS1
- Internal Moisture to comply with NZBC E3/AS1
- STUDS & STUD HEIGHTS:
 - All walls to be 90x45 SG8 studs @ 600 crs (245mm stud height).
 - All bottom plates to be H1.2 fixed with LUMBERLOK BOTTOM PLATE FIXINGS anchor in galv mild steel.
- All showers to be glass panel with concrete tiles.
- All internal wall linings to be 10mm GIB standard, and ceiling to be 13mm GIB standard over 70x35mm ceiling batten. All wet area to be 10mm GIB AQUALINE.
- All windows and doors to be aluminium joinery, and it have to be comply with NZS 4223 part 3:2016 for safety glazing and comply with NZBC E2/AS1.
- All ventilation to be comply with G4/AS1 & AS1668.
- All internal door to be 1980mm height.
- All Ceiling batten need to be 70x35 H1.2 @ 600 crs with 13mm Gib, or @ 400 crs with 10mm Gib.

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LOT 75
9 POUREWAST

Ground Floor Plan

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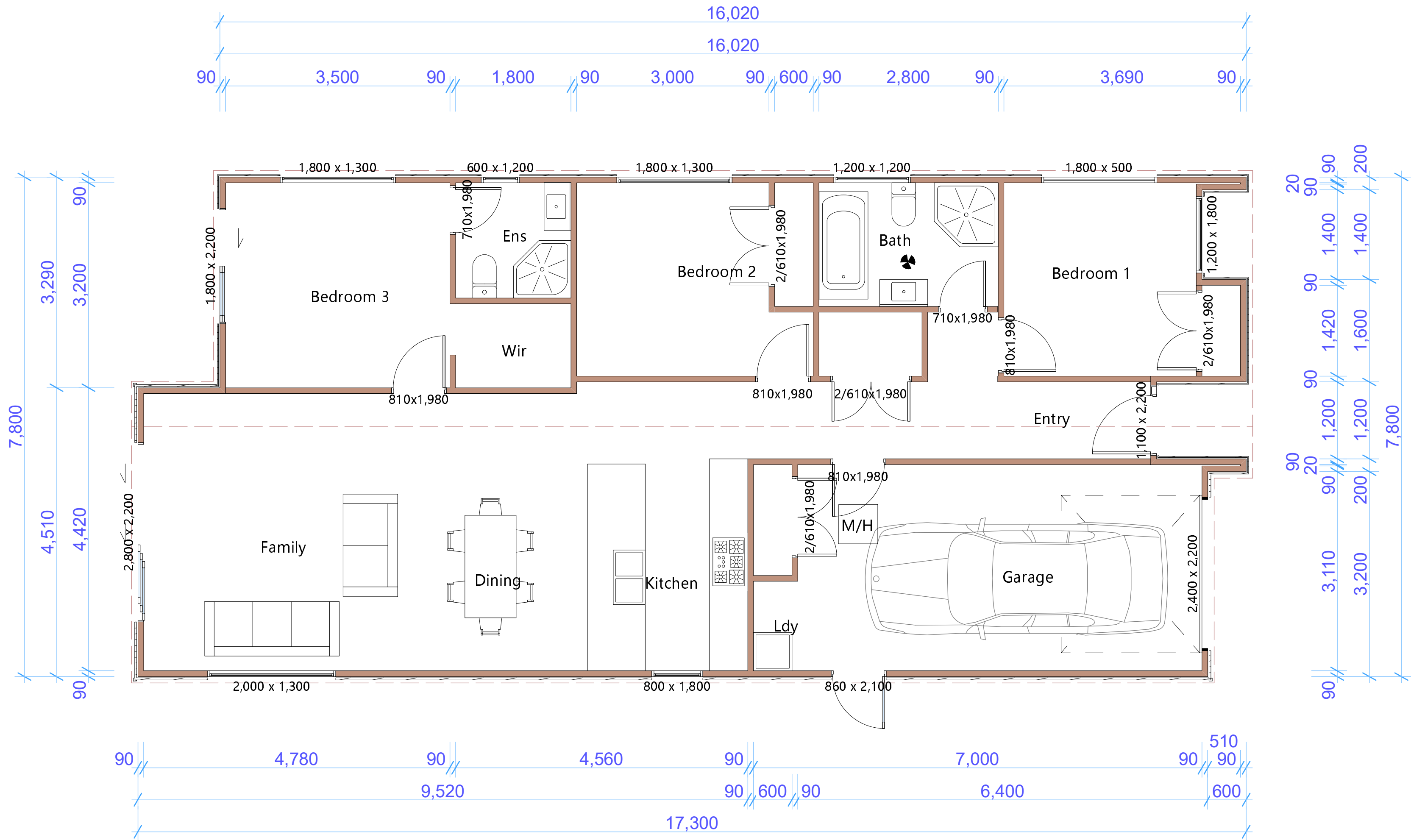
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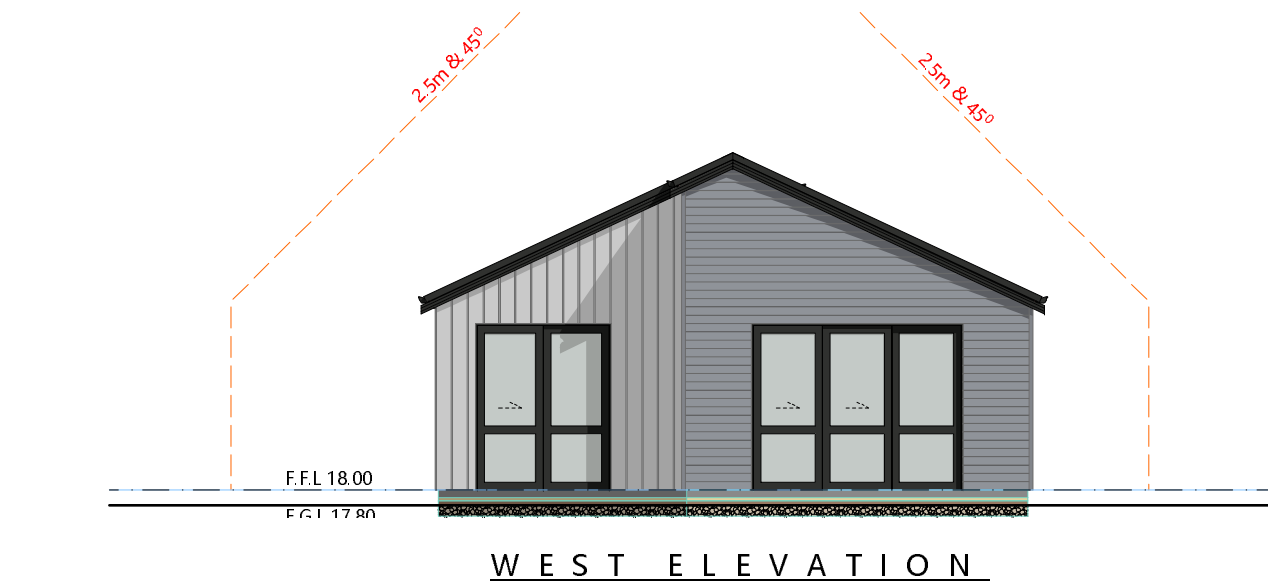
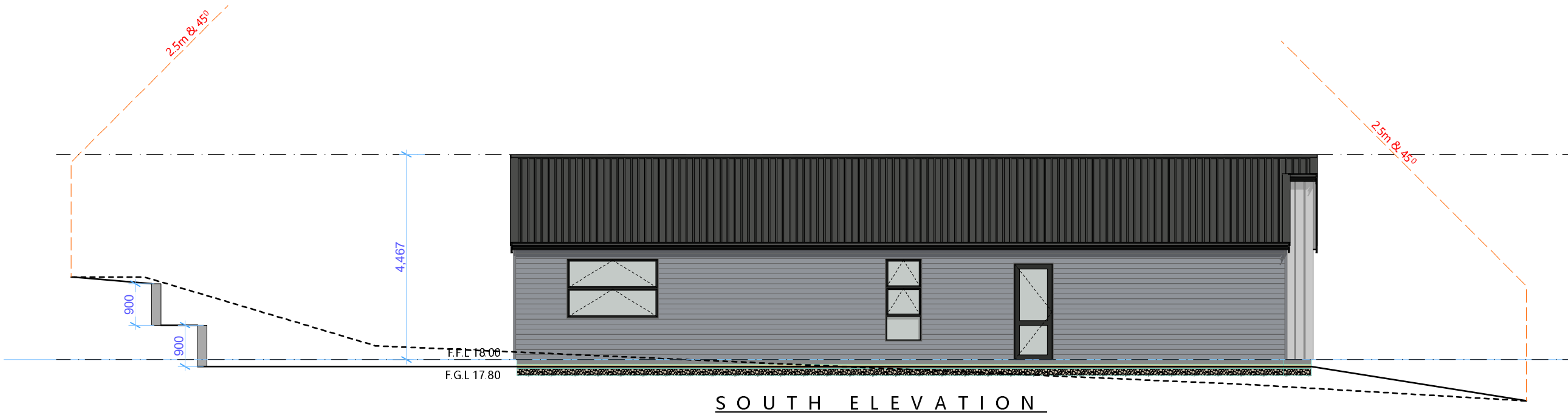
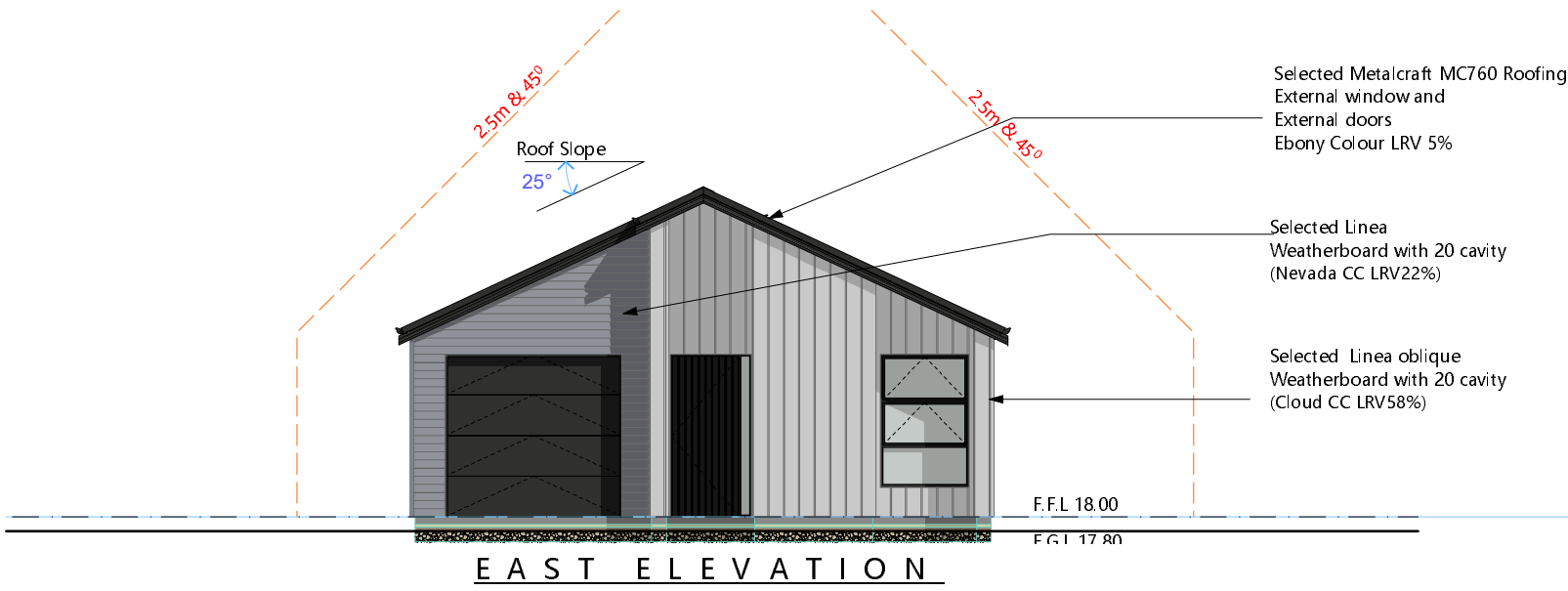
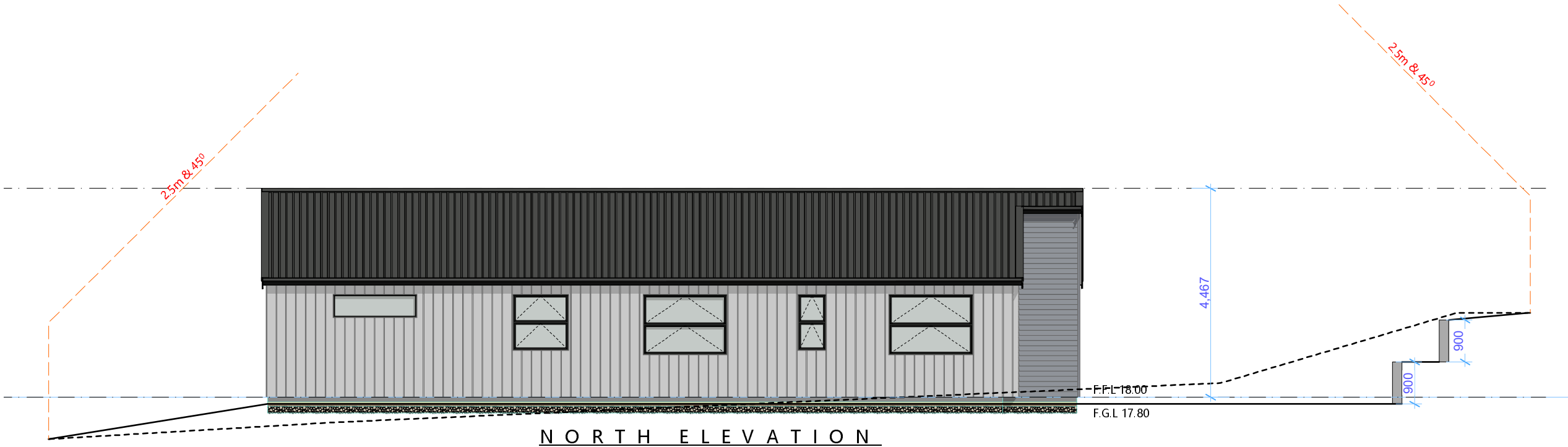
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COLOUR



Resene Ebony



Resene Nevada



Resene cloud

Total colour code: N34-005-272
Chart colour code: 1GR51
Tone: Mid/Mid grey
Colour palette: Neutral
RGB: 49 51 55
Hex values: #313337
LAB: 21.19 0.12 -2.82
CMYK: 11 7 0 78
Approx. LRV: 8

Total colour code: N54-007-200
Chart colour code: 18B23
Tone: Light
Colour palette: Neutral
RGB: 102 111 111
Hex values: #666F6F
LAB: 46.10 -3.40 -1.17
CMYK: 8 0 0 56
Approx. LRV: 22

Total colour code: Y81-011-082
Chart colour code: 06A03
Tone: White
Colour palette: Yellow
RGB: 194 188 177
Hex values: #C2BCB1
LAB: 76.44 0.17 6.31
CMYK: 0 3 9 24
Approx. LRV: 58

P R E L I M I N A R Y

NUMBER: 0210312191
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EMAIL: jeff@jjarchi.co.nz

DO NOT SCALE DIMENSIONS. Contact for more details. All dimensions on site before commencing any work. We warrant to be a professional architect and all works shown to be carried out in accordance with the Building Act 2004. All drawings and specifications are the property of J&J Architecture and are not to be used for any other purpose without the written consent of J&J Architecture.

NOTES:

Cladding Notes:

- Selected Linea WEATHERBOARD with 20mm cavity over "THERMAKRAFT WATERGATE Plus 295" building paper. Which show on the elevation.
- Selected Linea Oblique WEATHERBOARD with 20mm cavity over "THERMAKRAFT WATERGATE Plus 295" building paper. Which show on the elevation.
- Selected Colorsteel Longrun Roofing over "Thermakraft Covertek 401" roof underlay with 10° roof pitch. Which show on the elevation.
- Selected COLORSTEEL 1/4 ROUND GUTTER over COLORSTEEL FASCIA. With 80mm Dia downpipes Which show on the elevation.
- Refer to window and door schedule for joinery tapes and size.

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LOT 75 9 Pourewa ST	
Elevations	
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