

## Lot 94 - 34 Pourewa Street

### Quality materials and fittings. Turnkey package includes:

- Open plan kitchen, living and dining area
- Designed kitchen with stone benchtop
- Bosch Kitchen appliances (supply dependent)
- Designed wardrobe units
- Featured James Hardie cladding
- Featured TV wall
- Tinted glass to reduce glare & fading
- Quality bathroom facilities
- Tiled family bathroom with bathtub
- Carpet & laminated floor coverings
- Grooved internal doors with quality hardware
- Digital lock for front door
- 60mm skirting with 60mm architraves
- Gas hot water system
- Heat Pump
- Fully landscaped: fencing, lawns & planting, exposed aggregate driveway, patios, Letter box, clothesline

**NOTES:**

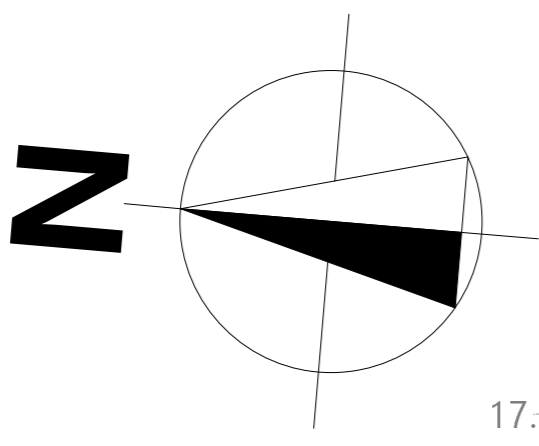
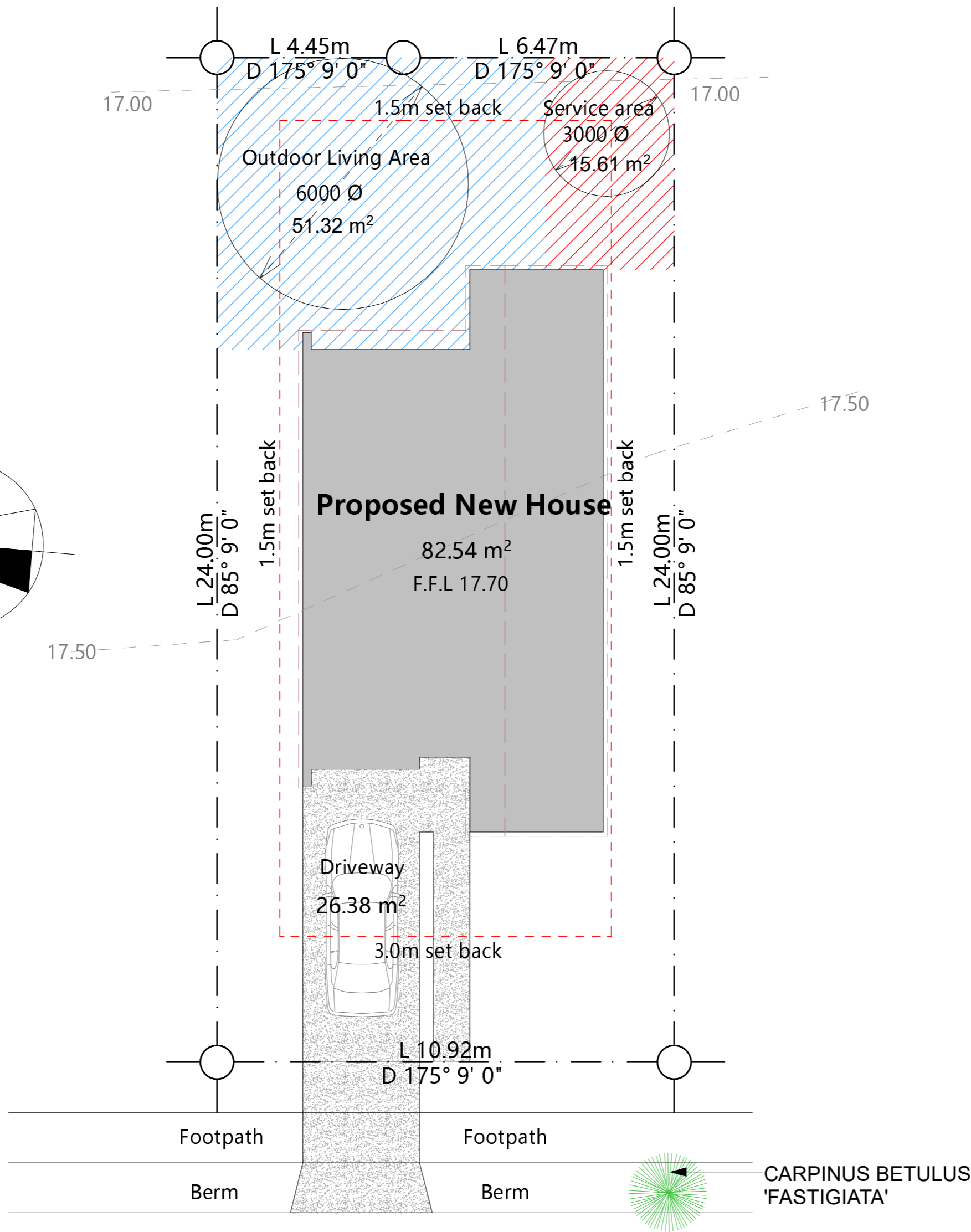
**Site Plan Notes:**

**Legal Description**

Street:	Pourewa street
Lot:	94
DPS:	546929
Site Area:	262.00 m <sup>2</sup>
Floor Area:	82.54 m <sup>2</sup>
Site Coverage:	31.5%
Driveway:	26.38m <sup>2</sup>
Permeable Surface:	(262-82.54-26.38)/262=58.4%
Wind Zone:	H
Wind Region:	A
Earthquake Zone:	Zone 1
Exposure Zone:	Zone B
Climate Zone:	Zone 2
Zone:	Residential Zone
Precinct:	High Density

P R E L I M I N A R Y

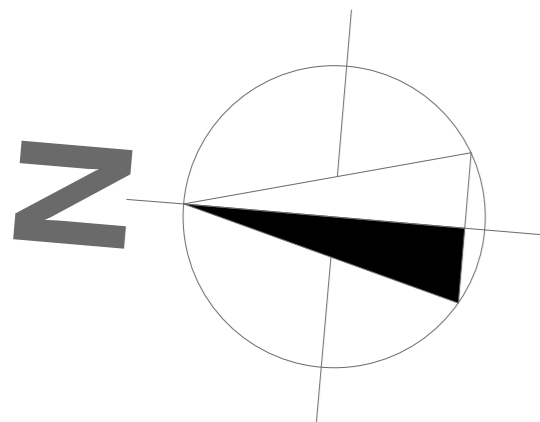
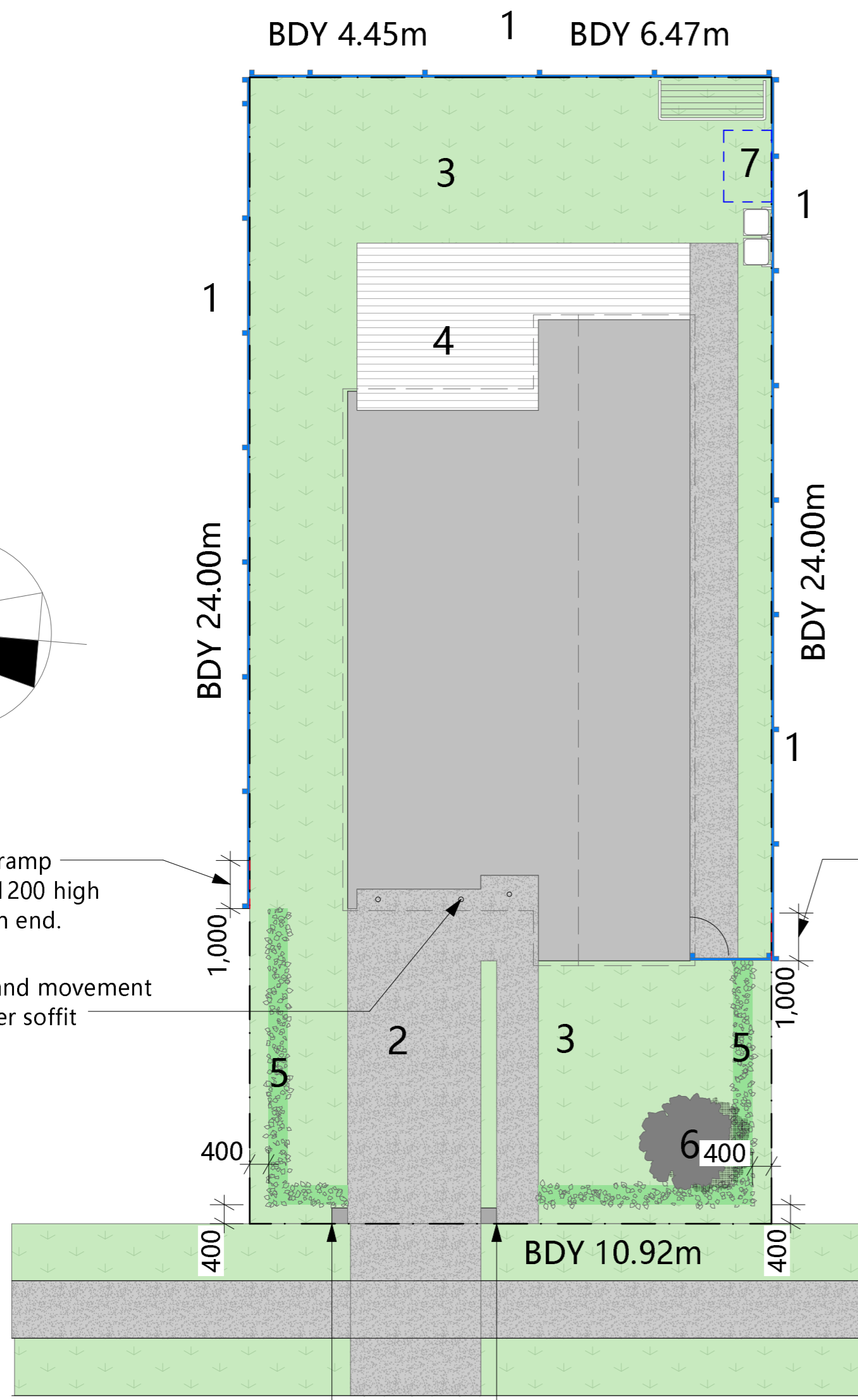
- Contractor to double check datum and all levels.
- Refer to survey plan for accurate contours.
- Drain layer to locate connection on site before commencing works.
- Sand pad refer to attached geotech report by engineer.
- All site dimensions are to outside edge of slab.
- All works to comply with current NZS-3604:2011 & NZBC.
- Overall frame or slab dimension to allow for 6mm bottom plate overhang.
- Site fence required during the construction to comply with NZBC F5.



**P O U R E W A S T R E E T**

REVISION	
CLIENT <b>LOT 94 POUREWA STREET</b>	
Site Plan	
DATE 1: 17/04/2022	SCALE @ A2 1:1.3333
REVISION	PAGE A 1 0 1

- NOTES:**  
**Landscaping Lighting Notes:**
- No lighting on fence and wall. All external light is under soffit, further details on Electrical plan.
  - No Garden sheds supplied.



Fence to ramp down to 1200 high 1900 from end.

Security and movement light under soffit

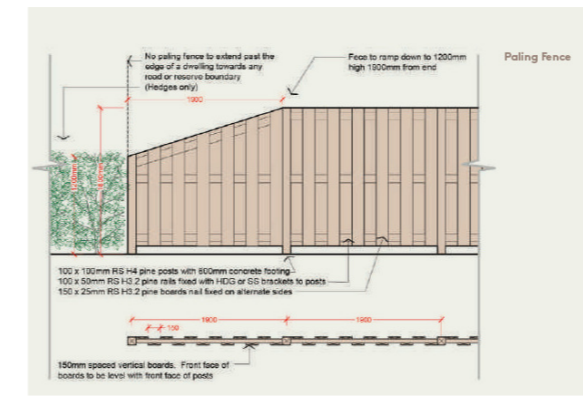
Fence to ramp down to 1200 high 1900 from end.

1/150x150 1m high Mac. Post to support letterbox 100-250mm from driveway

LetterBox 300w x 400d x 300h, black steel On 1/150x150 1m high Mac. Post to support letterbox 100-250mm from driveway

**1 1.8m privacy timber fence at backyard**

- Vertical timber paling fencing to a finished height of 1.8m above existing ground level is to be erected on each common boundary to a residential lot. Fencing is to be as per the detail below. Existing ground level means ground level at the time of title issue.



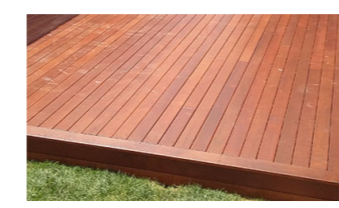
**2 Concrete (Exposed Aggregate)**



**3 Lawn area**

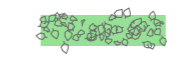


**4 Deck**



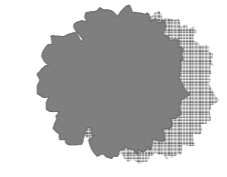
**5 Hedge plants(Griselinia littoralis)**

- All common boundaries with a road, access lot, reserve or residential lot where paling fencing is not permitted must be planted with a hedge offset 400mm inside the boundary.
- Hedge plants are to be a minimum of 1000mm high at the time of planting and a maximum of 600mm apart.
- Hedging is to be clipped and maintained to a height of 1200-1800mm.



**6 Magnolia Tree(Min PB150 or 2m+)**

- Trees are to be at least 2.5m in height at time of planting.
- No trees over 4m are allowed within 2m of a neighbouring residential lot.



**7 Garden sheds or other structures over 1.8m in height are only permitted with prior written approval from Lakeside Developments (Only Potential Location)**

Landscape lighting on the possible garden shed will be downlighting and less than 1.2m above ground level.

P R E L I M I N A R Y

REVISION	
CLIENT <b>LOT 94 POUTREWA STREET</b>	
Site Landscaping Plan	
DATE	SCALE @ A2
27/04/2022	1 : 1 0 0
REVISION	PAGE
	A 1 0 2

**NOTES:**

- Floor Plan Notes:**
- All works to comply with NZS 3604:2011 and NZBC
  - Do Not scale off drawing
  - Contractor shall verify and be responsible for all dimensions on site.
  - Architects to be notified of any variations between site dimensions and those on plans.
  - These drawings remain the property of J&J Architecture Ltd. And Should not be copied in any form or passed on to a third party without prior written consent.
  - Kitchen facilities to comply with NZBC G3/AS1.
  - Laundry facilities to comply with NZBC G2/AS1.
  - All wet area must to comply with NZBC E3/AS1 and concrete tile over all.
  - External Moisture to comply with NZBC E2/AS1
  - Internal Moisture to comply with NZBC E3/AS1
  - STUDS & STUD HEIGHTS:
    - All walls to be 90x45 SG8 studs @ 600 crs (245mm stud height).
    - All bottom plates to be H1.2 fixed with LUMBERLOK BOTTOM PLATE FIXINGS anchor in galv mild steel.
  - All showers to be glass panel with concrete tiles.
  - All internal wall linings to be 10mm GIB standard, and ceiling to be 13mm GIB standard over 70x35mm ceiling batten. All wet area to be 10mm GIB AQUALINE.
  - All windows and doors to be aluminium joinery and it have to be comply with NZS 4223 part 3:2016 for safety glazing and comply with NZBC E2/AS1
  - All ventilation to be comply with G4/AS1 & AS1668.
  - All internal door to be 1980mm height.
  - All Ceiling batten need to be 70x35 H1.2 @ 600 crs with 13mm Gib, or @ 400 crs with 10mm Gib.

**Insulation**

90 Frame External Walls:  
**R2.2 PINK BATTs**  
 Trusses Roof Area:  
**R3.2 PINK BATTs**  
 Meter Box:  
**Kingspan KS1000RW**

**Timber Treatment**

Timber	Treatment
Wall Frame	H1.2
Wet Area Wall Frame	H3.2
Trusses	H1.2

**Finishes**

Skirting: 60x10 PINE SINGLE BEVEL  
 Architrave: 60x10 PINE SINGLE BEVEL  
 Scotia: 75 Gib Cove

**Wet Area**

**ARDEX Applicator-Guang Zhou-0462**  
 Wet area to be waterproofing with 'ARDEX' membrane under tile area. Install waterproof membranes to 1800mm above shower, 300mm minimum up the wall behind the cavity, and 1500mm above the F.F.L.

**KEY:**

- Smoke Detector \*
  - Out door Tap ☼
  - Switch Board [SB]
  - Meter Board [MB]
  - Ceiling Access [M/H]
  - Rinnai Gas HW System [GAS]
  - Air Conditioner Outlet [AIR]
  - Exhaust Fan ☼
- Flow rates  
 a) 25 L/s for showers and baths, and  
 b) 50 L/s for cooktops.

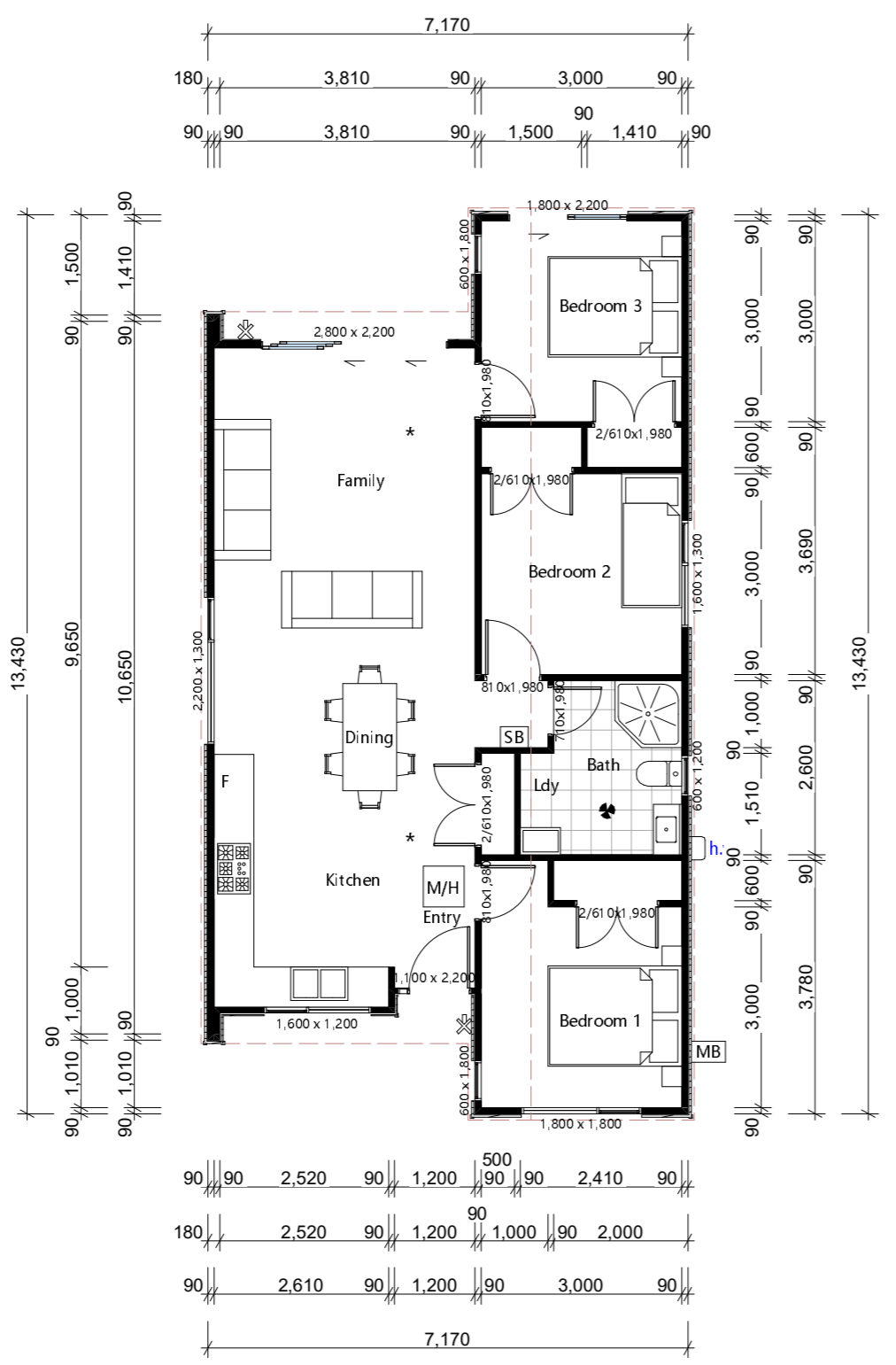
**Stairs:**

Timber stairs with 180mm rise 280mm tread @ 17 stairs. Handrail to comply with NZBC-D1.

**Floor Area:**

Ground Floor: 298.97m2(Over Frame)  
 306.73m2(Over Brick)

P R E L I M I N A R Y



REVISION	
CLIENT <b>LOT 94 POUTREWA STREET</b>	
Ground Floor Plan	
DATE 27/04/2022	SCALE @ A2 1 : 1 0 0
REVISION	PAGE A 1 0 3

**Cladding Notes:**

- 1 Selected Linea WEATHERBOARD with 20mm cavity over THERMAKRAFT WATERGATE Plus 295' building paper. Which show on the elevation.
- 2 Selected Linea Oblique WEATHERBOARD with 20mm cavity over THERMAKRAFT WATERGATE Plus 295' building paper. Which show on the elevation.
- 3 Selected Colorsteel Longrun Roofing over Thermakraft Covertek 401' roof underlay with 10° & 20° roof pitch. Which show on the elevation.
- 4 Selected COLORSTEEL 1/4 ROUND GUTTER over COLORSTEEL FASCIA. With 80mm Dia downpipes Which show on the elevation.
- 5 Refer to window and door schedule for joinery tapes and size.

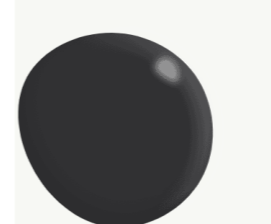
P R E L I M I N A R Y

REVISION	
CLIENT	LOT 94 POUTREWA STREET
	Elevations
DATE	SCALE @ A2
REVISION	27/04/2021 1:00, 1:50
	PAGE A 2 0 1

**COLOUR**

**Colorsteel® Ebony**

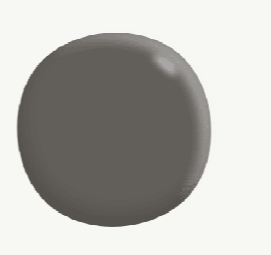
HIGHLIGHTS	SPECIFICATION
<p>Colour Values</p> <p>R 47 G 47 B 49</p> <p>LRV Value</p> <p>5</p>	<p>Download colour swatch</p>



**Dulux Ebony**

**Shag Rock**


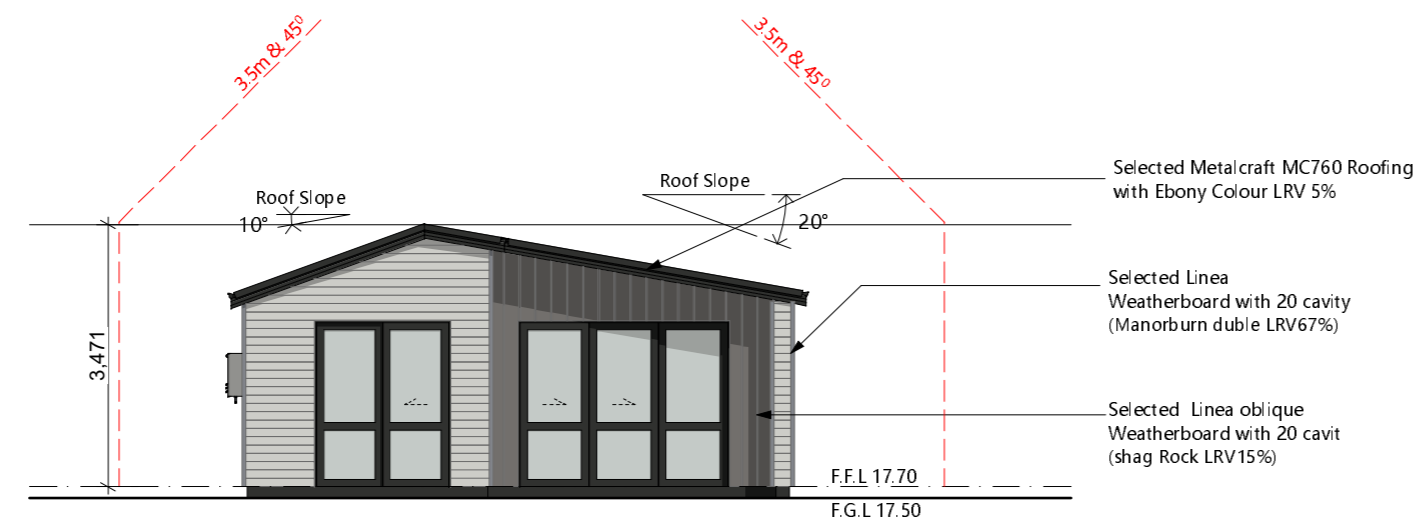
HIGHLIGHTS	SPECIFICATION
<p>Colour Values</p> <p>R 91 G 92 B 98</p> <p>LRV Value</p> <p>15</p> <p>Colour Code</p> <p>N710HR</p>	<p>Download colour swatch</p>



**Dulux Shag Rock**

**Manorburn Double**

HIGHLIGHTS	SPECIFICATION
<p>Colour Values</p> <p>R 208 G 209 B 206</p> <p>LRV Value</p> <p>67</p> <p>Colour Code</p> <p>N29A2</p>	<p>Download colour swatch</p>

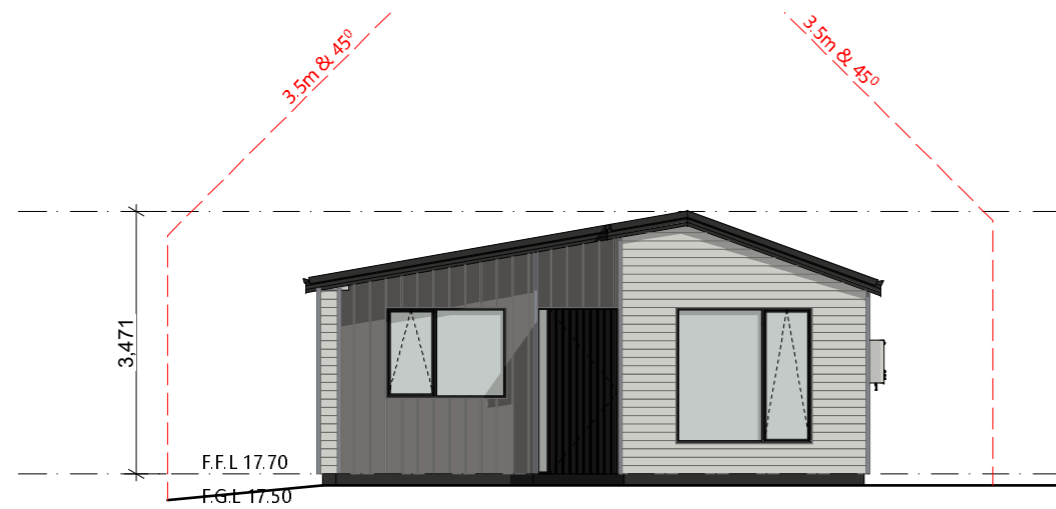



**EAST ELEVATION**

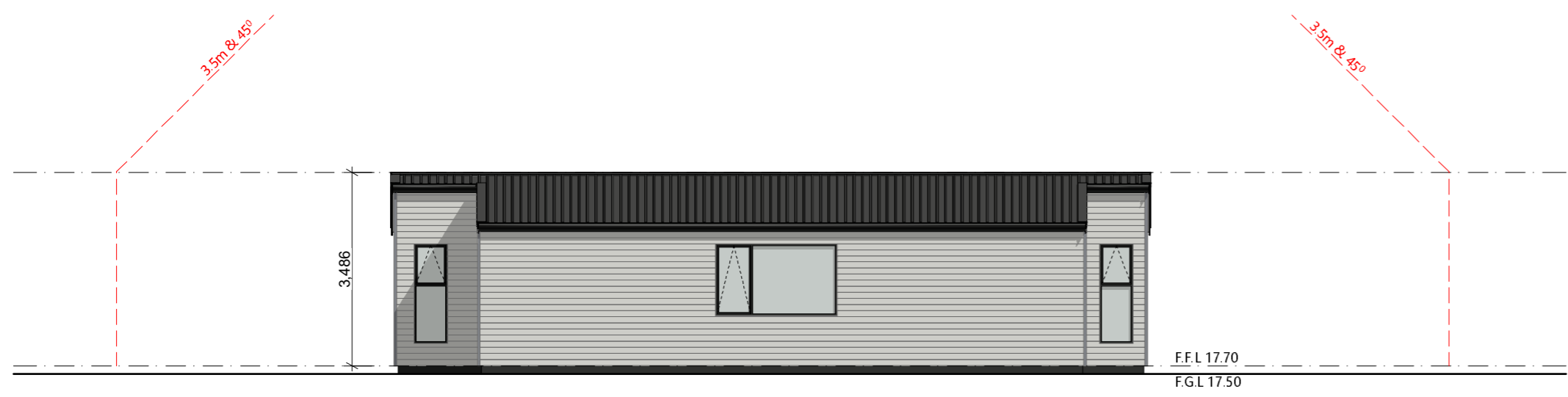
- Selected Metalcraft MC760 Roofing with Ebony Colour LRV 5%
- Selected Linea Weatherboard with 20 cavity (Manorburn double LRV67%)
- Selected Linea oblique Weatherboard with 20 cavit (shag Rock LRV15%)



**SOUTH ELEVATION**



**WEST ELEVATION**



**NORTH ELEVATION**

BUILDING ENVELOPE RISK MATRIX		
All Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Medium risk	0
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
<b>Total Risk Score:</b>		<b>3</b>